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PROPOSED TOWNHOUSE DEVELOPMENT

MUNICIPALITY OF WEST GREY

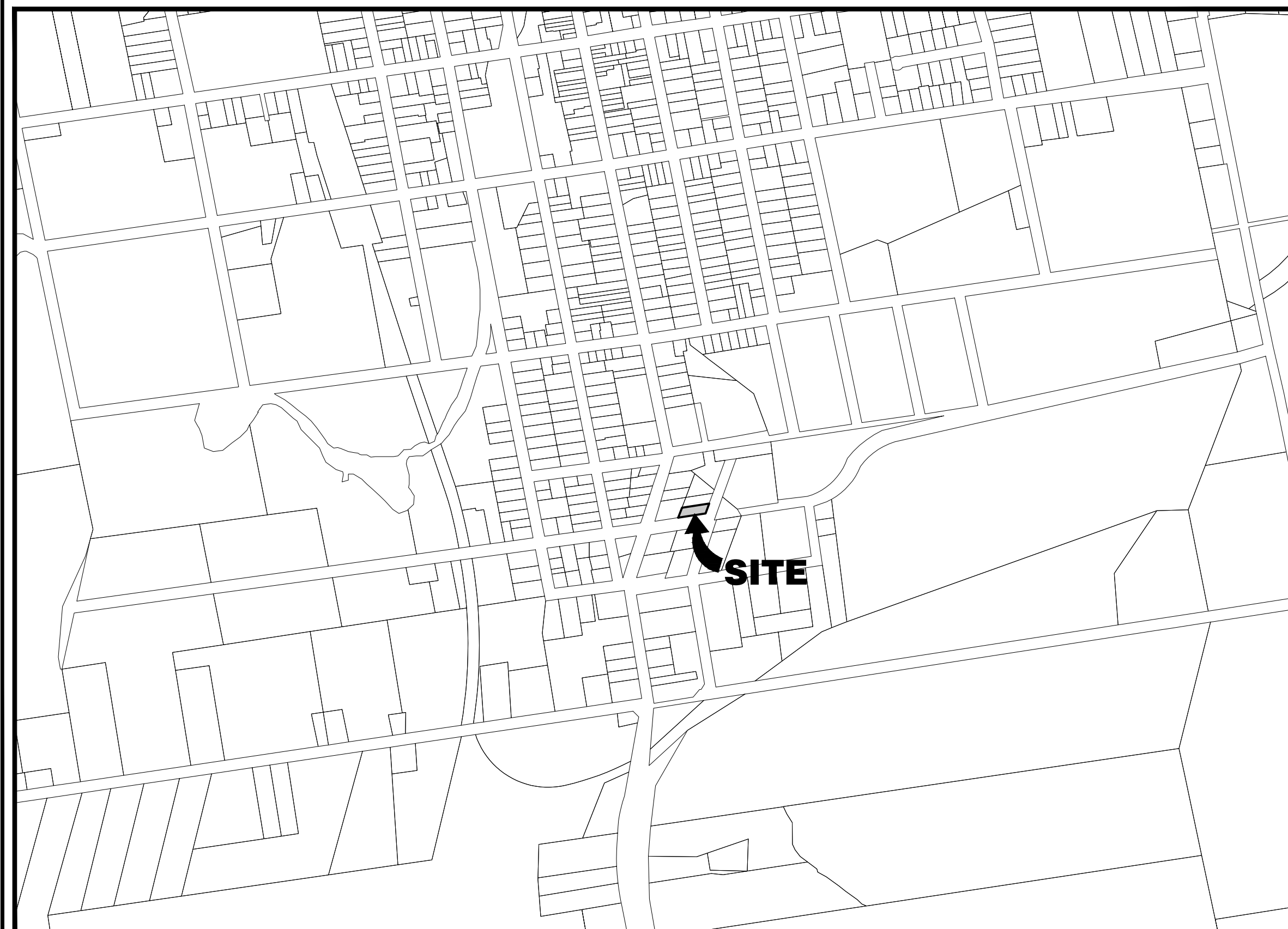
COUNTY OF GREY

192 PARK STREET E
 CONTRACT NO. 24-06015-01

OWNER :
 CANDUE HOMES

INDEX

SHEET No.	DESCRIPTION
06015-SP1	DEVELOPMENT SITE PLAN
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06015-SGR2	SITE GRADING PLAN 2
06015-SS1	SITE SERVICING PLAN
06015-DET1	MISCELLANEOUS DETAILS 1



No.	DATE	DESCRIPTION	BY	APPD
1	FEB 24/25	SECOND SUBMISSION	ID	TLB
0	DEC 12/24	FIRST SUBMISSION	ID	TLB

REVISION / ISSUE

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Title: PROPOSED TOWNHOUSE DEVELOPMENT
 MUNICIPALITY OF WEST GREY
 COUNTY OF GREY

TITLE SHEET

Client:	CANDUE HOMES		
Design:	TLB	Scale:	N/A
Drawn:	ID	Approved:	
Checked:	TLB		
Date:	FEBRUARY 2025		Design Engineer
DRAWING No.	06015-TS		

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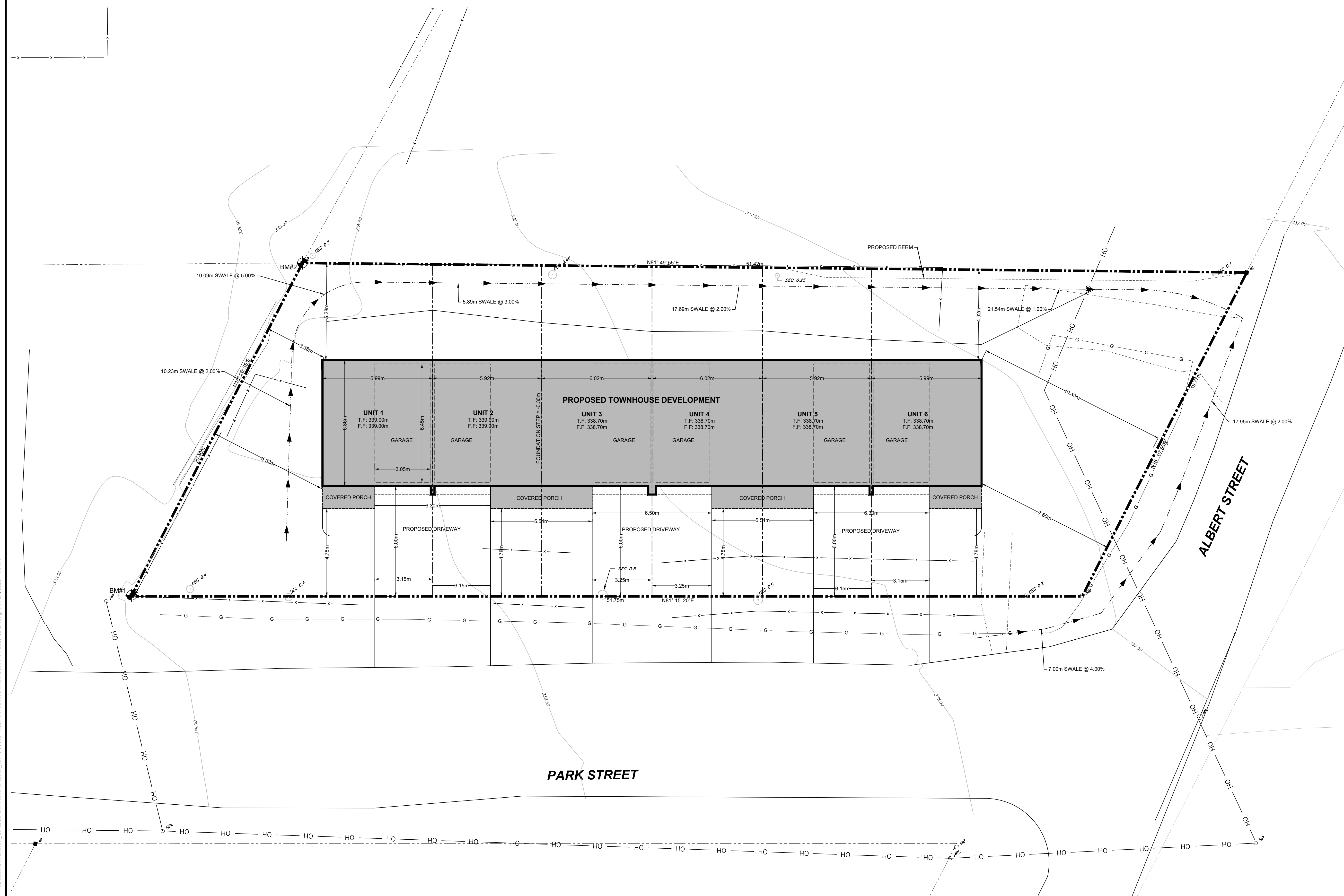
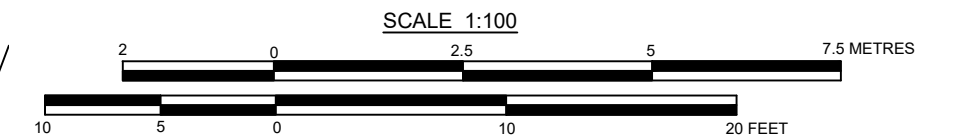
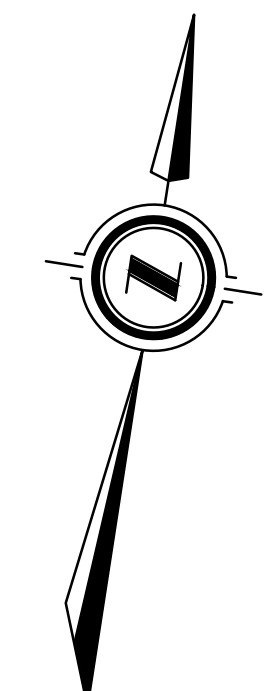
LEGEND

<ul style="list-style-type: none"> --- PROPERTY BOUNDARY - - - EDGE OF EXISTING PAVEMENT - - - EDGE OF EXISTING GRAVEL --- PROPOSED SANITARY SEWER --- EXISTING SANITARY SEWER --- PROPOSED STORM SEWER --- EXISTING STORM SEWER --- PROPOSED SUBDRAIN --- PROPOSED WATERMAIN --- EXISTING WATERMAIN 	<ul style="list-style-type: none"> ● SANMH ○ SANMH ● STMMH ○ STMMH ● CBMH ○ CBMH ● TICBMH ○ TICBMH ● TICB ○ TICB ● EXISTING FENCE 	<ul style="list-style-type: none"> ● PROPOSED SANITARY MANHOLE ○ EXISTING SANITARY MANHOLE ● PROPOSED STORM MANHOLE ○ EXISTING STORM MANHOLE ● PROPOSED CATCHBASIN MANHOLE ○ EXISTING CATCHBASIN MANHOLE ● PROPOSED TWIN INLET CATCHBASIN MANHOLE ○ EXISTING TWIN INLET CATCHBASIN MANHOLE ● PROPOSED TRANSFORMER ○ EXISTING TRANSFORMER ● PROPOSED LIGHT POLE ○ EXISTING LIGHT POLE 	<ul style="list-style-type: none"> ■ CB □ DICB ● PROPOSED CATCH BASIN ○ EXISTING CATCH BASIN ● PROPOSED DITCH INLET CATCHBASIN ○ EXISTING DITCH INLET CATCHBASIN ● PROPOSED HYDRANT SET ○ EXISTING HYDRANT SET ● EXISTING FIRE HYDRANT ○ EXISTING FIRE HYDRANT ● PROPOSED GATE VALVE ○ EXISTING GATE VALVE ● PROPOSED BEND c/w RESTRAINTS ○ EXISTING BEND c/w RESTRAINTS 	<ul style="list-style-type: none"> ● PROPOSED TEE c/w RESTRAINTS ○ EXISTING TEE c/w RESTRAINTS ● PROPOSED CAP c/w THRUST BLOCK ○ EXISTING CAP c/w THRUST BLOCK ● PROPOSED BLOWOFF ○ EXISTING BLOWOFF ● BENCHMARK ○ EXISTING BENCHMARK ● PROPOSED ELEVATION ○ EXISTING ELEVATION ● EXISTING CONTOUR LINE ○ EXISTING CONTOUR LINE ● PROPOSED TACTILE PLATES ○ EXISTING TACTILE PLATES
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LOT STATISTICS:
 OVERALL LOT AREA = 924.78m²
 BUILDING AREA = 286.77m²
 OPEN SPACE AREA = 483.70m²
 LANDSCAPE OPEN SPACE = 53.39%
 LOT COVERAGE = 28.85%

CAUTION:
 THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE DRAWINGS. AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

- Notes**
- PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION DERIVED FROM TOPOGRAPHICAL SURVEY BY VAN HARTEN, DATED SEPTEMBER 21, 2023.
 - ALL ORGANIC MATERIAL WITHIN 1.2m OF FINISHED PROFILE GRADE TO BE REMOVED FROM ALL AREAS UNDER THE TRAVELLED PORTION OF THE ROAD.
 - COVER OVER WATERMAIN 1.8m MINIMUM AT ALL POINTS.
 - STORM SEWERS UP TO AND INCLUDING 900mmØ SHALL BE BOSS 2000. ALL STORM SEWERS 1050mmØ AND LARGER TO BE CONCRETE.
 - SANITARY SEWER TO BE PVC SDR 35.
 - ALL STORM CATCHBASINS TO HAVE A MINIMUM SUMP OF 600mm AND ALL STORM MANHOLES TO HAVE A MINIMUM SUMP OF 300mm.
 - MAINTAIN 2.50m CLEARANCE BETWEEN STORM/ SANITARY SEWER AND WATERMAIN.
 - ALL WATERMANS TO BE PVC DR 18 WITH 25mmØ REHAU MUNICIPEX SERVICE TUBING FOR WATER SERVICES.
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 - ALL HYDRANT SETS REQUIRE TEST POINT AND HYDRANT MARKER. ALL WATERMAIN JOINTS ON HYDRANT LEADS TO BE RESTRAINED.
 - ALL JOINTS OF SANITARY MANHOLES TO BE CAULKED WITH MIN. 15mm BEAD, INSTALLED ON THE TOP OF JOINT OF EACH SECTION PRIOR TO SECTION ABOVE BEING INSTALLED. CAULKING TO BE SIKAFLEX 1A OR APPROVED EQUIVALENT.
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 - ALL CONSTRUCTION TO BE COMPLETED TO MUNICIPALITY OF WEST GREY ENGINEERING STANDARDS.



Benchmark Information

● BM#1	TOP OF IRON BAR LOCATED AT THE SOUTHWEST CORNER OF THE PROPERTY.	ELEVATION	338.99m
● BM#2	TOP OF IRON BAR LOCATED AT THE NORTHWEST CORNER OF THE PROPERTY.	ELEVATION	338.53m

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REVISION / ISSUE				

517 - 10th STREET, Hanover, Ontario N4N 1R4
 Telephone: (519) 506-5959
 www.cobideeng.com

PROPOSED TOWNHOUSE DEVELOPMENT
 MUNICIPALITY OF WEST GREY
 COUNTY OF GREY

DEVELOPMENT SITE PLAN

Client: **CANDUE HOMES**

Design: TLB	Scale: 1:100
Drawn: ID	Approved:
Checked: TLB	
Date: FEBRUARY 2025	Design Engineer

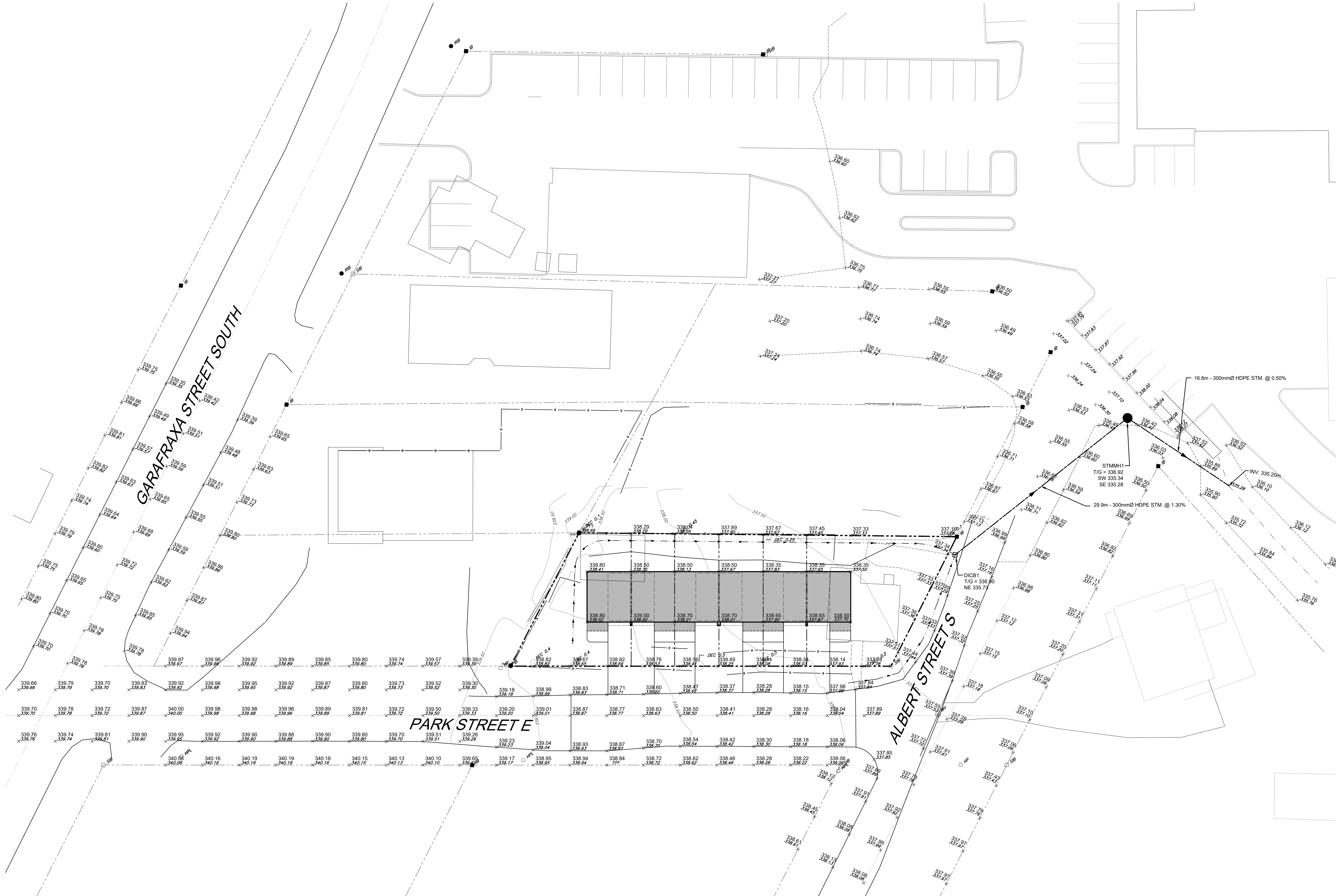
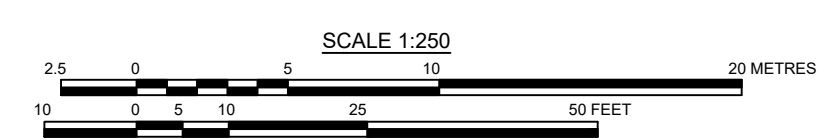
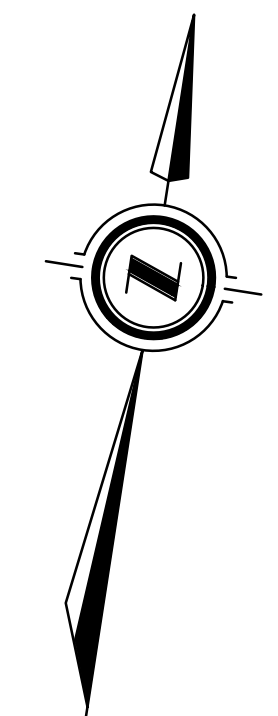
DRAWING No. **06015-SP1**

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LEGEND			
	PROPERTY BOUNDARY		PROPOSED SANITARY MANHOLE
	EDGE OF EXISTING PAVEMENT		EXISTING SANITARY MANHOLE
	EDGE OF EXISTING GRAVEL		PROPOSED STORM MANHOLE
	PROPOSED SANITARY SEWER		EXISTING STORM MANHOLE
	EXISTING SANITARY SEWER		PROPOSED CATCHBASIN MANHOLE
	PROPOSED STORM SEWER		PROPOSED TRANSFORMER
	EXISTING STORM SEWER		PROPOSED TWIN INLET CATCHBASIN MANHOLE
	PROPOSED SUBDRAIN		PROPOSED TWIN INLET CATCHBASIN
	PROPOSED WATERMAIN		PROPOSED LIGHT POLE
	EXISTING WATERMAIN		EXISTING FENCE
	PROPOSED CATCH BASIN		PROPOSED DITCH INLET CATCHBASIN
	EXISTING CATCH BASIN		PROPOSED HYDRANT SET
	PROPOSED TEE c/w RESTRAINTS		EXISTING FIRE HYDRANT
	PROPOSED CAP c/w THRUST BLOCK		PROPOSED GATE VALVE
	PROPOSED BLOWOFF		EXISTING GATE VALVE
	BENCHMARK		PROPOSED BEND c/w RESTRAINTS
	PROPOSED ELEVATION		EXISTING CONTOUR LINE
	EXISTING ELEVATION		PROPOSED TACTILE PLATES

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Benchmark Information

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PROPOSED TOWNHOUSE DEVELOPMENT
MUNICIPALITY OF WEST GREY
COUNTY OF GREY

SITE GRADING PLAN 2

Client: **CANDUE HOMES**

Design: TLB Scale: 1:250

Drawn: ID Approved:

Checked: TLB

Date: FEBRUARY 2025 Design Engineer

DRAWING No. 06015-SGR2

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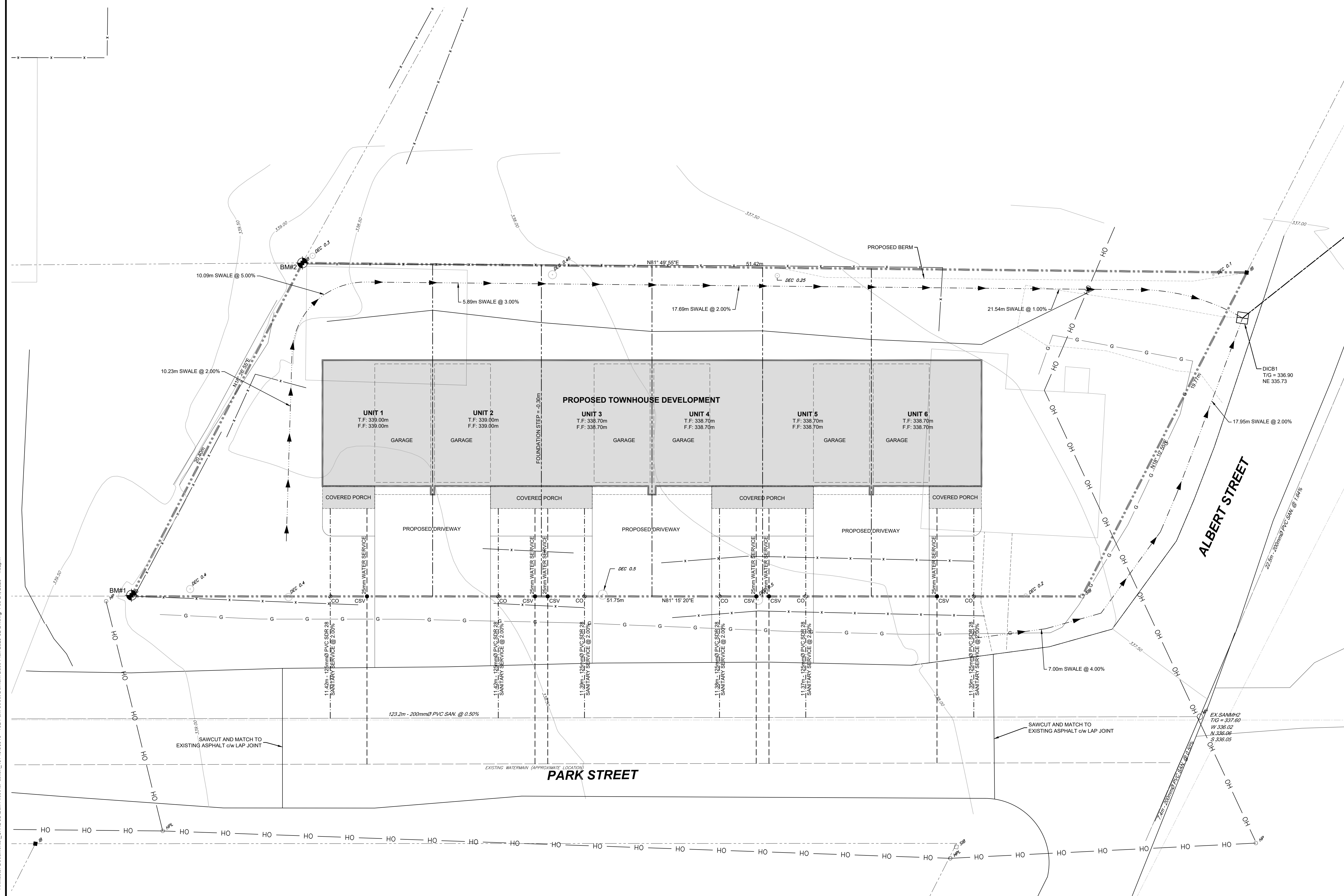
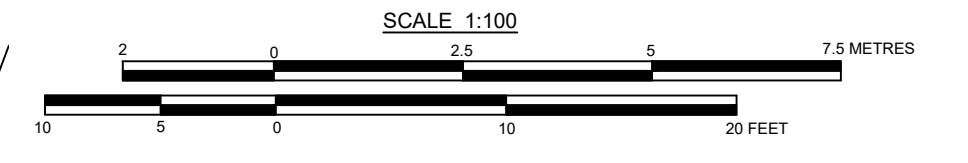
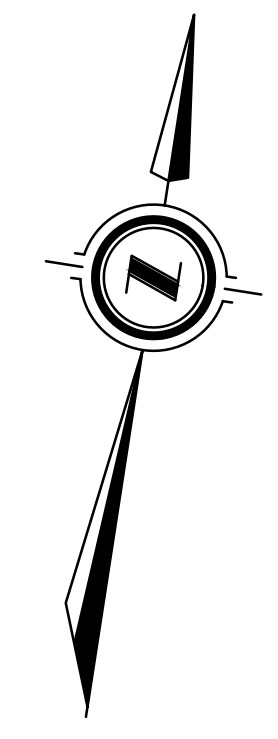
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LOT STATISTICS:
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 BUILDING AREA = 264.36m²
 OPEN SPACE AREA = 498.36m²
 LANDSCAPE OPEN SPACE = 53.89%
 LOT COVERAGE = 28.59%

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PROPOSED TOWNHOUSE DEVELOPMENT
 MUNICIPALITY OF WEST GREY
 COUNTY OF GREY

SITE SERVICING PLAN

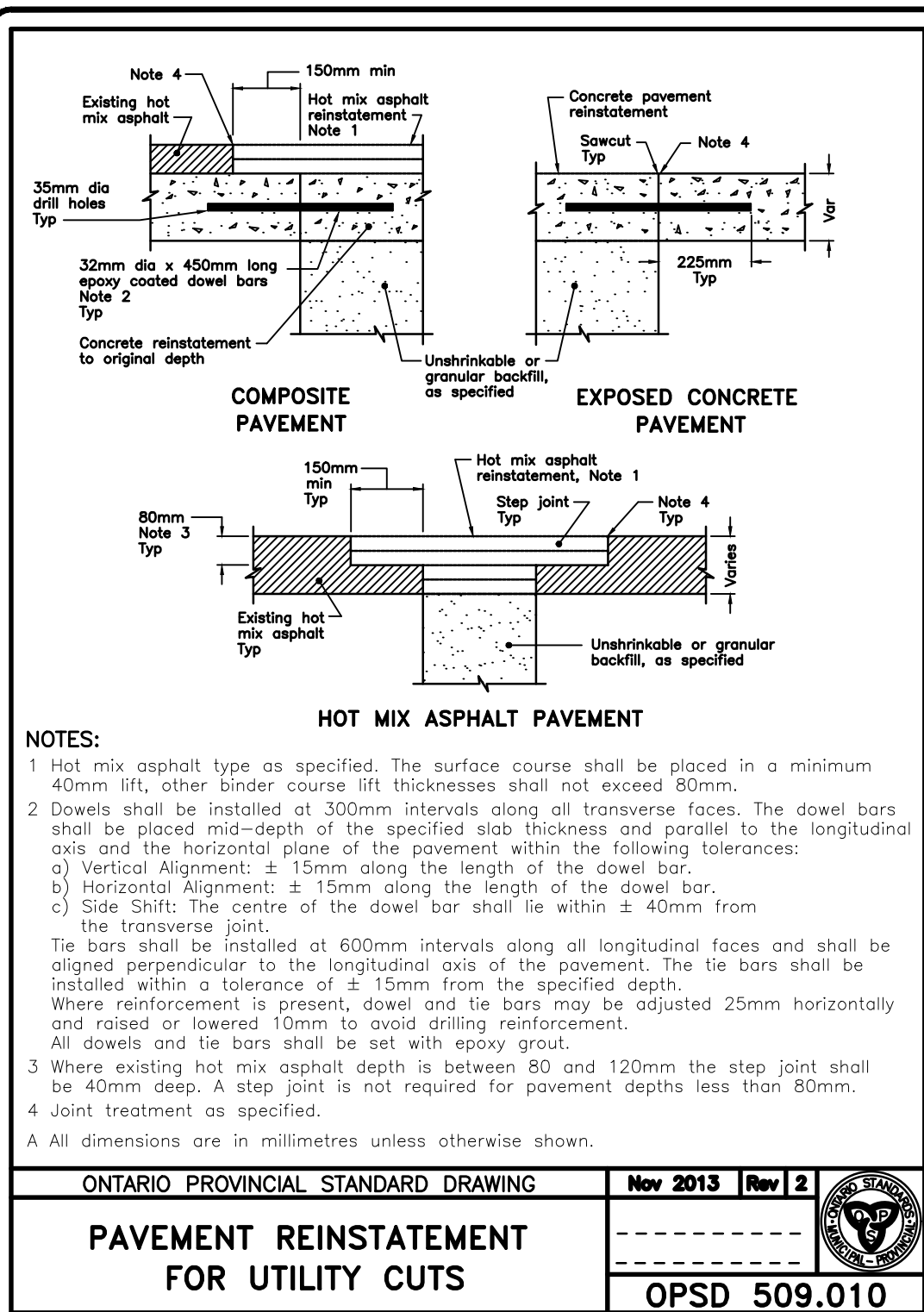
Client: CANDUE HOMES

Design: TLB	Scale: 1:100
Drawn: ID	Approved:
Checked: TLB	
Date: FEBRUARY 2025	Design Engineer

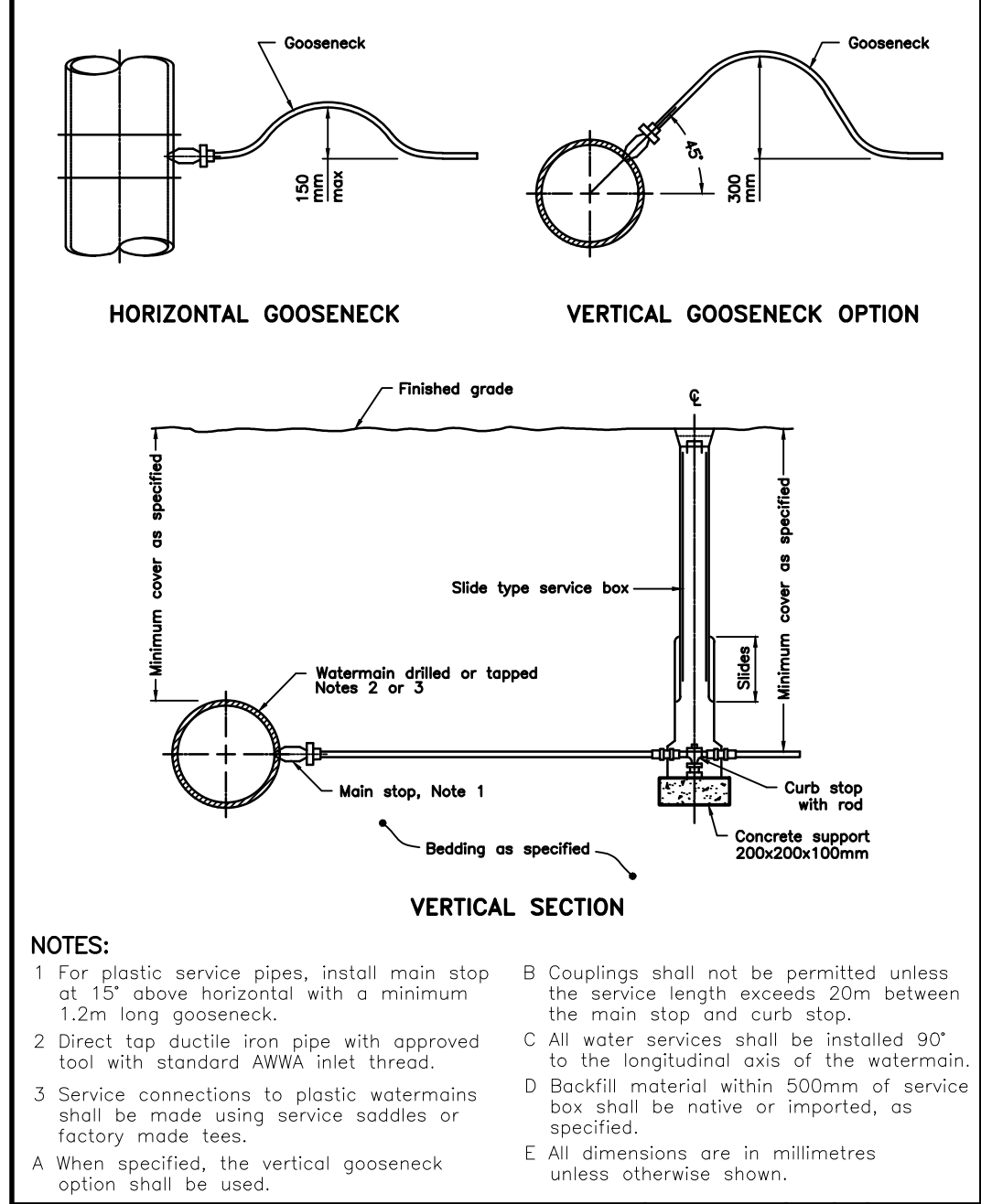
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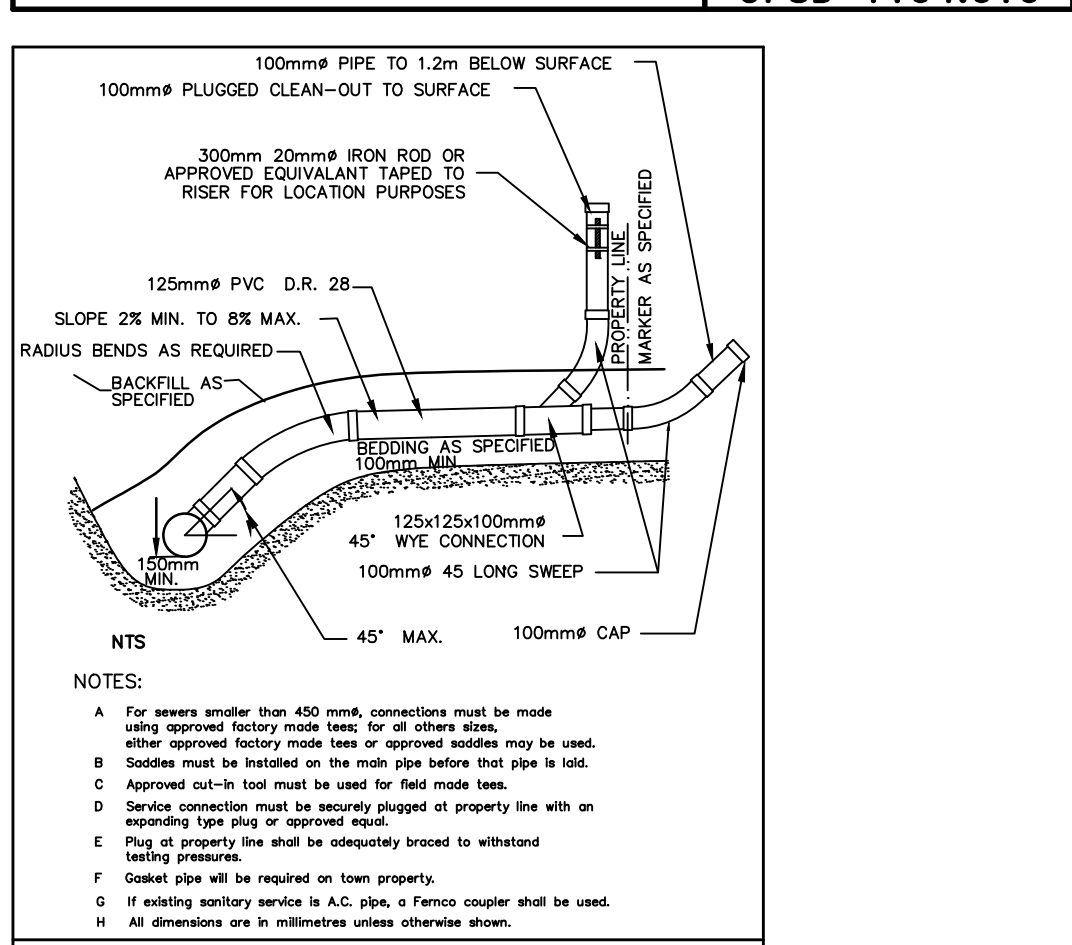
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ONTARIO PROVINCIAL STANDARD DRAWING **Nov 2013** **Rev 2**
PAVEMENT REINSTATEMENT FOR UTILITY CUTS
 OPSD 509.010



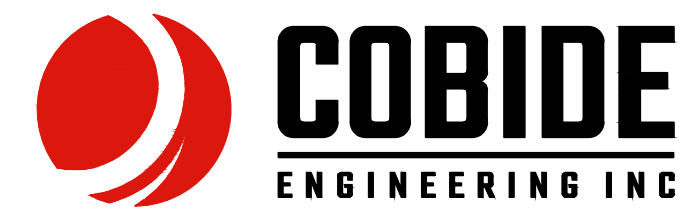
ONTARIO PROVINCIAL STANDARD DRAWING **Nov 2013** **Rev 3**
WATER SERVICE CONNECTION
19 and 25mm DIAMETER SIZES
 OPSD 1104.010



ONTARIO PROVINCIAL STANDARD DRAWING **Nov 2013** **Rev 3**
SEWER SERVICE CONNECTIONS FOR FLEXIBLE PIPE
 OPSD 1104.010

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COBIDE ENGINEERING INC
 517 - 10th STREET, Hanover, Ontario N4N 1R4
 Telephone: (519) 506-5959
 www.cobideeng.com

Client: **CANDUE HOMES**

Design: TLB Scale: N/A

Drawn: ID Approved:

Checked: TLB

Date: FEBRUARY 2025 Design Engineer

DRAWING No. 06015-DET1

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